

PREMIER DENTAL ARTS

LOT 1, BLOCK 6701 - LAWRENCE TOWNSHIP - MERCER COUNTY

3640 TRENTON-PRINCETON RD. - PRINCETON, NJ 08540

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
AP	ACCESS PANEL
APPROX	APPROXIMATELY
BLDG	BUILDING
B.O.	BOTTOM OF FOOTING
BOF	BOTTOM OF FOOTING
BOS	BOTTOM OF STEEL
BTWN	BETWEEN
CJ	CONTROL JOINT
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DBL	DOUBLE
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DPR	DIRT PICKUP RESISTANT
DWG	DRAWING
EACH	EACH
EG	EMERGENCY GENERATOR
E.G.	FOR EXAMPLE
EJ	EXPANSION JOINT
EX'G	EXISTING
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FF	FINISH FLOOR
FIN	FINISH
FR	FIRE RATING
FRT	FIRE RETARDANT TREATED
G&S	GLUED & SCREWED
GA	GAUGE
GALV	GALVANIZED
GWB	GYP-SUM WALL BOARD
GYP	GYP-SUM
H	HIGH (HEIGHT)
HOR	HORIZONTAL
HR	HOOR
I.D.	INSIDE DIAMETER
INSUL	INSULATION
LOC	LOCATION
MAX	MAXIMUM
MIN	MINIMUM
M.O.	MASONRY OPENING
MOD	MODIFIED
MR	MOISTURE RESISTANT
MTL	METAL
NC	NO CHANGE
NIC	NOT IN CONTRACT
NOM	NOMINAL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
PL	PLATE
PLYWD	PLYWOOD
PT	PRESSURE TREATED
PTD	PAINTED
R	RISER(S)
RAD	RADIUS
REQ'D	REQUIRED
REQ'T	REQUIREMENT
RM	ROOM
R.O.	ROUGH OPENING
SO	SQUARE
STL	STEEL
STRUC	STRUCTURE
SUSP	SUSPENDED
T	TREAD(S)
T&G	TONGUE & GROOVE
THK	THICK
T.O.	TOP OF
TOB	TOP OF BEAM
TOJ	TOP OF JOIST
TOS	TOP OF STEEL
TS	TUBE STEEL
TYP	TYPICAL
UN	UNLESS OTHERWISE NOTED
VB	VAPOR BARRIER
VERT	VERTICAL
VIF	VERIFY IN FIELD
W	WIDE (WIDTH)
W/O	WITHOUT
WF	WIDE FLANGE
WD	WOOD

DRAWING ISSUANCE SCHEDULE

DRAWING ISSUANCE SCHEDULE INCLUDES ARCHITECT AND MEP SHEETS ONLY.

DWG	REVISION & DATE		
	ZONING	A.D.	A.D.
EX1.1	4-4-2021	NOTE	NOTE
EX2.1			
EX2.2			
A1.1			
A2.1			

IMPORTANT NOTE:

THIS IS A PROJECT OF LIMITED SCOPE. THE ARCHITECT IS RESPONSIBLE ONLY FOR THOSE ASPECTS OF THE BUILDING SPECIFICALLY SHOWN ON THESE DOCUMENTS. THE WORK AS SHOWN IN THIS SET OF DRAWINGS INVOLVES ONLY THE DENTAL OFFICE TENANT FIT OUT. THE ARCHITECT'S WORK DOES NOT INCLUDE REVIEW OF CODE COMPLIANCE FOR ANY AREAS NOT DESIGNATED AS "SCOPE OF WORK". ANY WORK THAT IS DONE IN ANY OTHER AREAS IS THE RESPONSIBILITY OF THE OWNER OR THE DESIGN PROFESSIONAL RESPONSIBLE FOR THAT WORK. ARCHITECT'S SCOPE OF WORK DOES NOT INCLUDE ROOF PUNCTURES.

ALL CONSTRUCTION WORK SHALL COMPLY WITH APPLICABLE STATUTES, ORDINANCES, LAWS AND CODES OF ALL GOVERNING AND ADMINISTRATIVE AGENCIES WHO HAVE JURISDICTION OVER THIS PROJECT.

IT IS EACH CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF ALL STRUCTURAL, BRACING AND CONSTRUCTION ELEMENTS DURING ALL PHASES.

THE ARCHITECT DOES NOT HAVE CONTROL OVER OR CHARGE OF, NOR IS THE ARCHITECT RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES UNDER THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR COORDINATION BETWEEN THE TRADES AS WELL AS THE OVERALL BUILDING FACILITIES DEPARTMENT.

LARGE SCALE DETAILS GOVERN OVER SMALL DETAILS. USE DIMENSIONS ONLY ON DRAWINGS. DO NOT SCALE FROM DRAWINGS.

CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION DETAILS NOT SHOWN OR NOTED. (I.E. FLASHING, WATERPROOFING, FIRE PROOFING, ETC.).

CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL EXISTING BUILDING ELEMENTS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION OR PROCUREMENT OF DIMENSION MATERIALS.

ACCEPTANCE OF PRIOR WORK: THE CONTRACTOR AND ALL SUBCONTRACTORS ARE TO INSPECT THE EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION OF INSTALLATION. THE COMMENCEMENT OF WORK INDICATES THE ACCEPTANCE OF PRIOR WORK.

CONTRACTOR SHALL MAINTAIN THE APPROPRIATE LIABILITY. BUILDER'S RISK AND WORKMAN'S COMPENSATION INSURANCE AS NECESSARY FOR THIS PROJECT, REQUIRED BY THE CITY AND AS AGREED TO BY OWNER.

CONTRACTOR WILL OBTAIN FOR THE OWNER GENERAL BUILDING PERMITS. INDIVIDUAL TRADES ARE RESPONSIBLE FOR OBTAINING AND PAYING FOR THEIR INDIVIDUAL PERMITS.

IF HAZARDOUS MATERIALS ARE FOUND DURING DEMO OR CONSTRUCTION, THESE ITEMS SHALL BE REMEDIATED IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES BY THE CONTRACTOR. THE CONTRACTOR SHALL OUTLINE THE EXTENT OF THE MATERIAL(S) LOCATED AND SHALL CONTRACT DIRECTLY WITH AN APPROVED REMOVAL AGENCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF ALL DOCUMENTATION TO THE GOVERNING AUTHORITIES AS NEEDED. THE ARCHITECT SHALL BE HELD HARMLESS FROM ALL HAZARDOUS MATERIAL CLAIMS AND OR DISCOVERIES.

ALL PRODUCTS FURNISHED AND INSTALLED IN THIS PROJECT ARE TO BE INSTALLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.

THE TERM "PROVIDE" MEANS TO FURNISH AND INSTALL.

DUMPSTERS: ARE TO BE FURNISHED BY THE GENERAL CONTRACTOR. DUMPSTER SHALL BE EMPTIED AND/OR REMOVED AS SOON AS RECEPTACLE IS FULLY LOADED. TRASH REMOVAL BY CONTRACTOR. CONTRACTOR SHALL OBTAIN PERMITS FROM THE CITY AS REQUIRED BY THE CITY AND SHALL PLACE UNITS IN AREAS SPECIFIED BY THE BUILDING FACILITIES DEPARTMENT.

TEMPORARY TOILET FACILITIES SHALL BE FURNISHED BY THE GENERAL CONTRACTOR. UNLESS ARRANGEMENT IS MADE WITH OWNER TO USE EXISTING FACILITIES.

ALL EXISTING FIRE AND SMOKE PREVENTION EQUIPMENT AND CONSTRUCTION SHALL BE MAINTAINED AND REPAIRED IF DAMAGED DURING THE WORK TO MAINTAIN CODE REQUIRED ASSEMBLIES

CODE REVIEW

SCOPE:
REZONE AN EXISTING RESIDENCE FOR PROFESSIONAL BUSINESS USE (DENTAL PRACTICE). THE EXISTING RESIDENCE WAS USED AS HOME BASED PROFESSIONAL BUSINESS. THE WORK AREA IS LIMITED TO THE FIRST FLOOR AND SHALL ENCOMPASS 2,942 S.F., AND SHALL INCLUDE THE ADDITION OF AN ACCESSIBLE RAMPED ENTRANCE.

SITE INFORMATION
LOCAL PERMITTING ENTITY:
LAWRENCE TOWNSHIP, NJ

CODE INFORMATION
APPLICABLE BUILDING CODES:
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL PLUMBING CODE
NFPA70 2017- ELECTRICAL

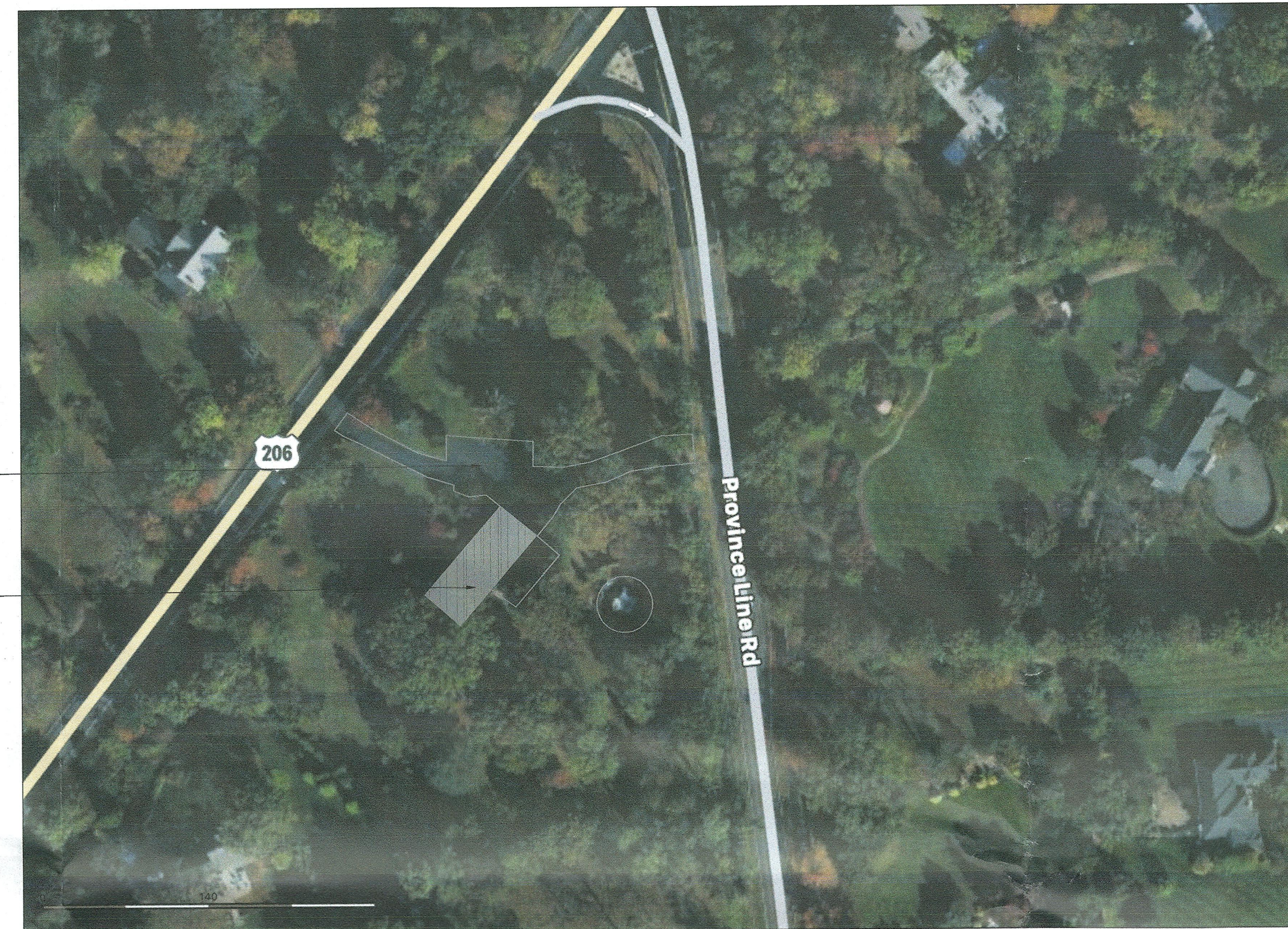
2018 INTERNATIONAL EXISTING BUILDING CODE
FOR TENANT FIT-OUT

BUILDING DATA:
BUILDING TYPE : IIB
USE GROUP: B

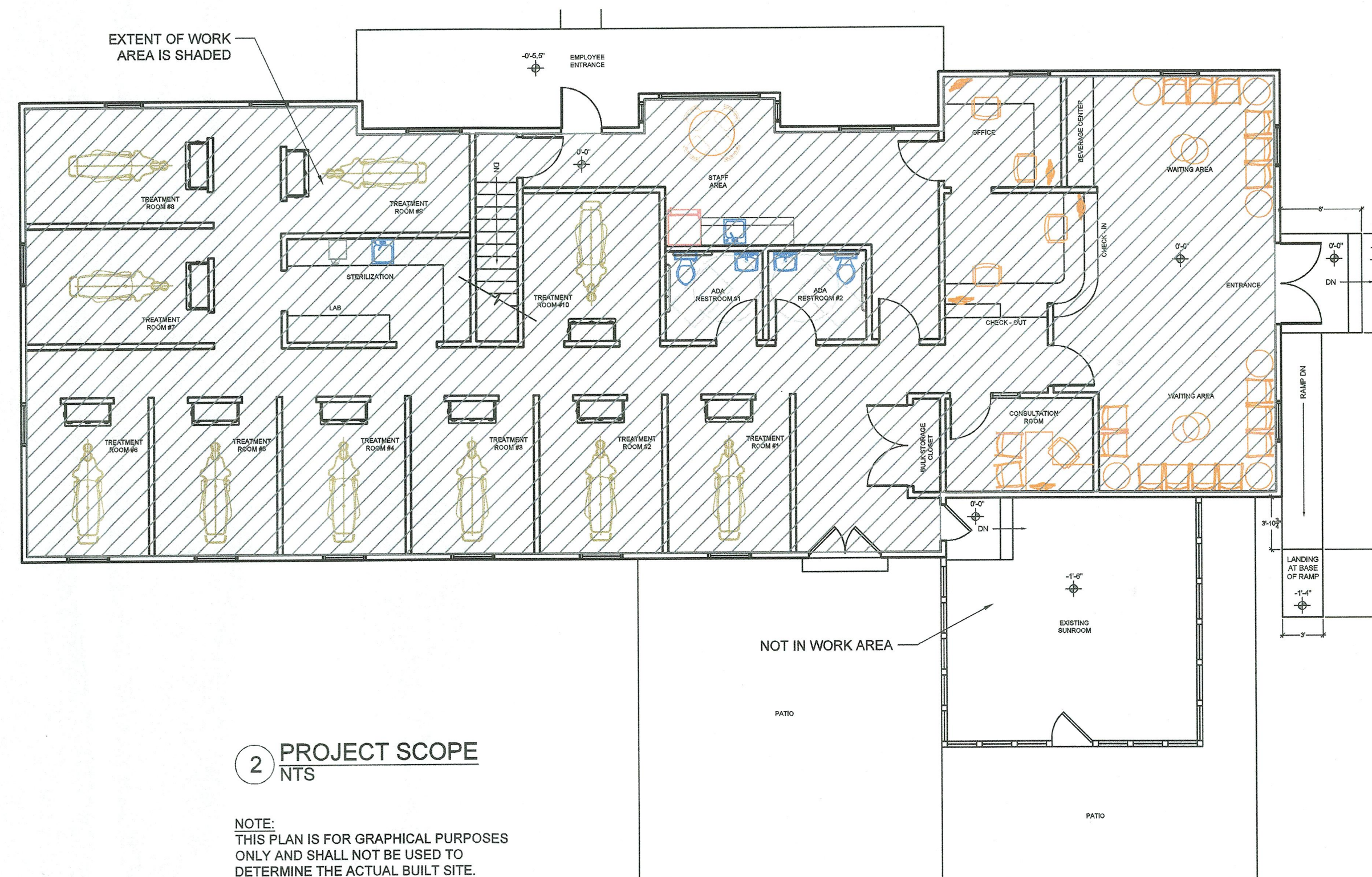
WORK AREA:
2,942 S.F. FIRST FLOOR

OCCUPANCY LOAD CALCULATIONS:
2,942 S.F. FIRST FLOOR / 150 S.F. GROSS = 19.6 PERSONS

TOTAL OCCUPANCY LOAD = 20 PERSONS



1 SITE PLAN NTS



2 PROJECT SCOPE NTS

NOTE:
THIS PLAN IS FOR GRAPHICAL PURPOSES ONLY AND SHALL NOT BE USED TO DETERMINE THE ACTUAL BUILT SITE.

SYMBOL LEGEND

	WALL TYPE
	SECTION MARK
	ELEVATION MARK
	ELEVATION MARK
	DOOR TAG
	ROOM NAME

The Lion & Crown
ARCHITECTURE & DESIGN
3911 CONCORD PIKE #7571
WILMINGTON, DE 19803
302.438.5839

Premier Dental Arts
LOT 1, BLOCK 6701
3640 TRENTON - PRINCETON RD
LAWRENCE TOWNSHIP
MERCER COUNTY, NEW JERSEY

CONTRACTOR SHALL VERIFY DIMENSIONS AND SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY UNREPORTED DISCREPANCIES.

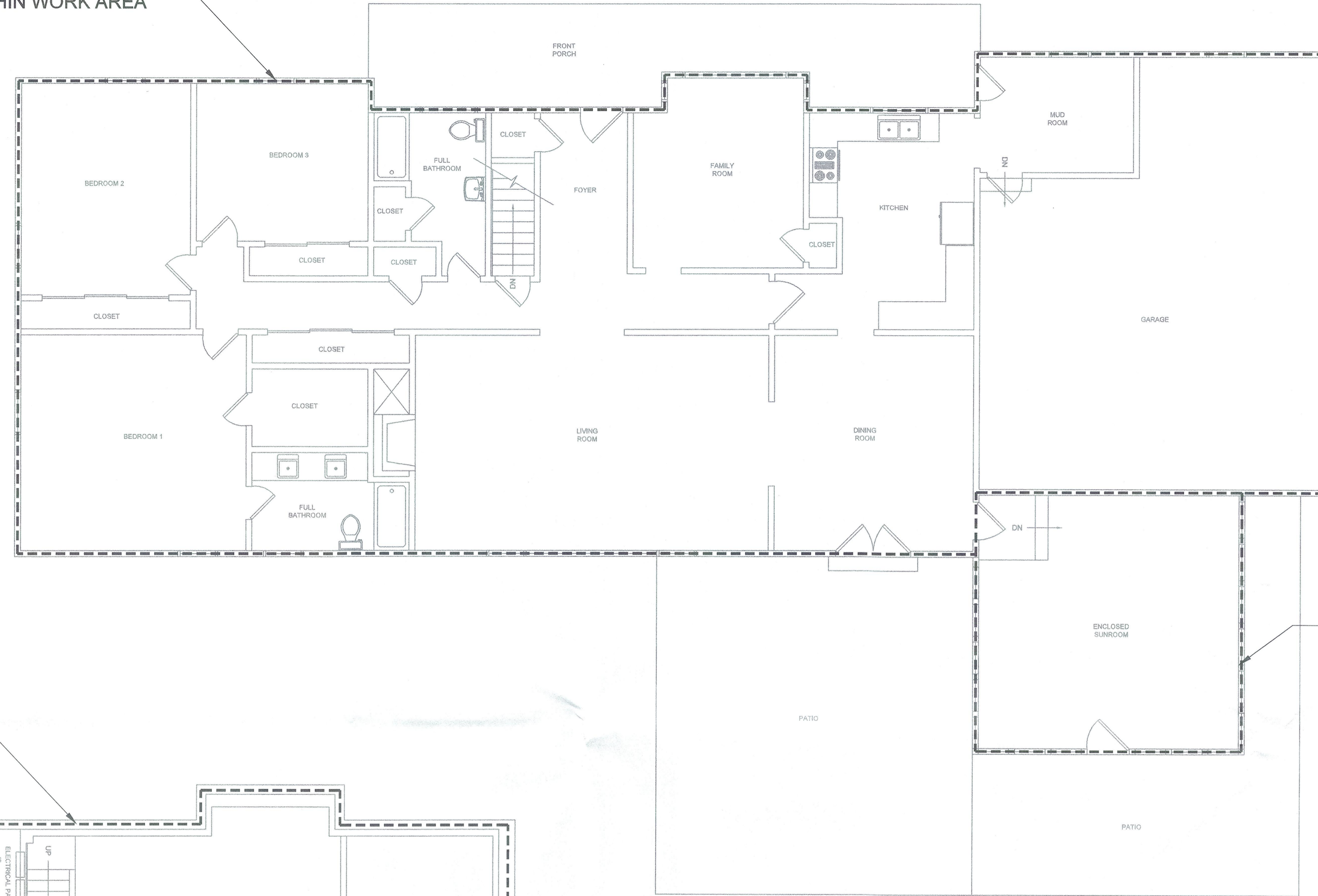
ISSUE: FOR ZONING 4/4/2021

REVISIONS
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SHEET TITLE
COVER SHEET

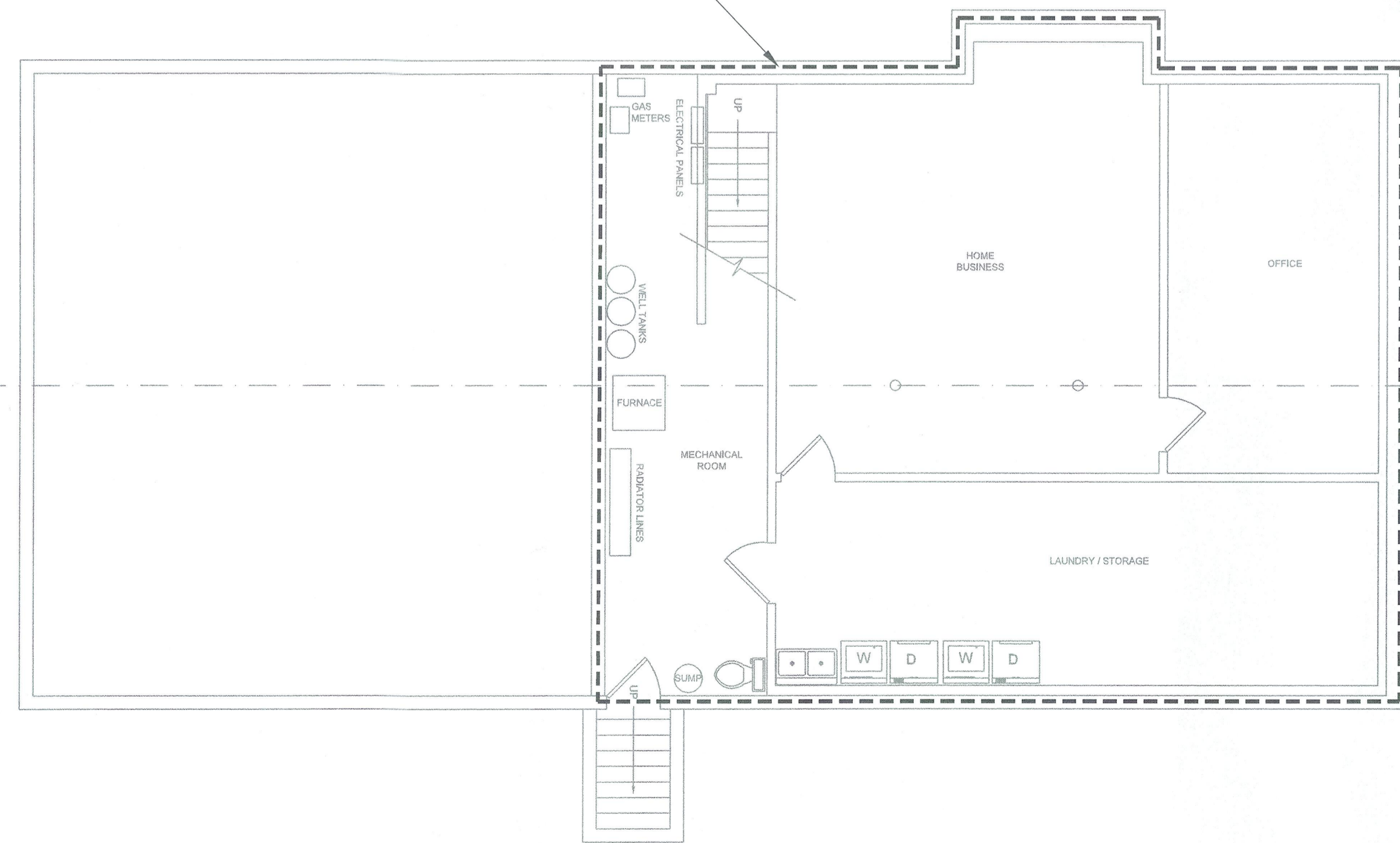
DRAWING
CS
PROJECT: BBG2103 - SAAD

EXISTING FIRST FLOOR AND GARAGE WITHIN WORK AREA



EXISTING SUNROOM NOT WITHIN WORK AREA

EXISTING BASEMENT NOT WITHIN WORK AREA



1 EXISTING FIRST FLOOR PLAN
3/16" = 1'-0"

BUILDING SQUARE FOOTAGE	
EXISTING 1ST FLOOR	2,289 SF
EXISTING GARAGE	653 SF
EXISTING SUNROOM	333 SF
EXISTING BASEMENT	1,178 SF
EXISTING TOTAL UNDER ROOF	4,453 SF

2 EXISTING BASEMENT PLAN
3/16" = 1'-0"

The Lion & Crown
ARCHITECTURE & DESIGN

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ISSUE: FOR ZONING 4/4/2021

REVISIONS

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SHEET TITLE
EXISTING PLAN

DRAWING
EX1.1